

# **Herring Residence Variance**

## **Planning Commission Public Hearing**

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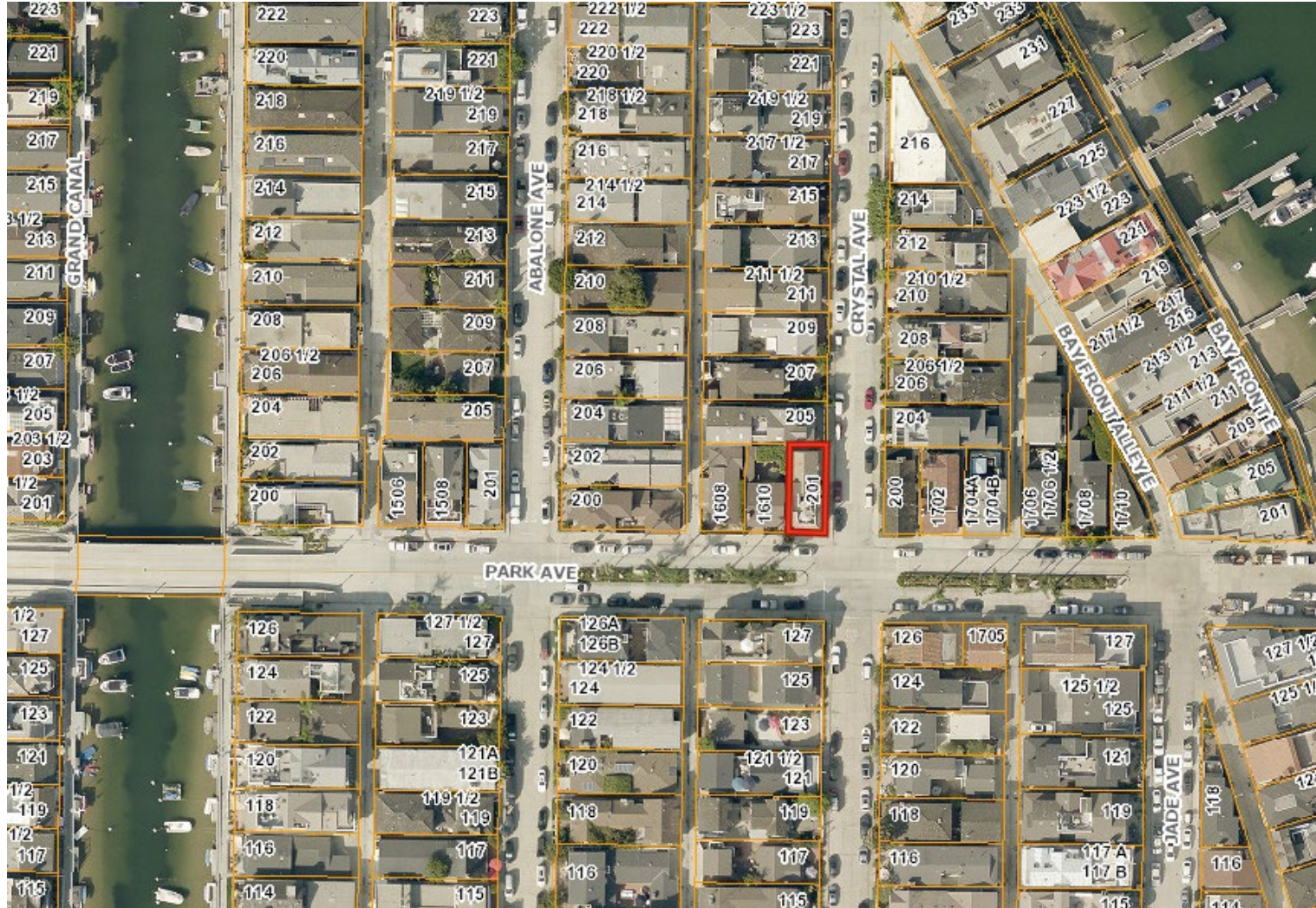
**June 9, 2022**

**Chelsea Crager, Associate Planner**





# Vicinity Map



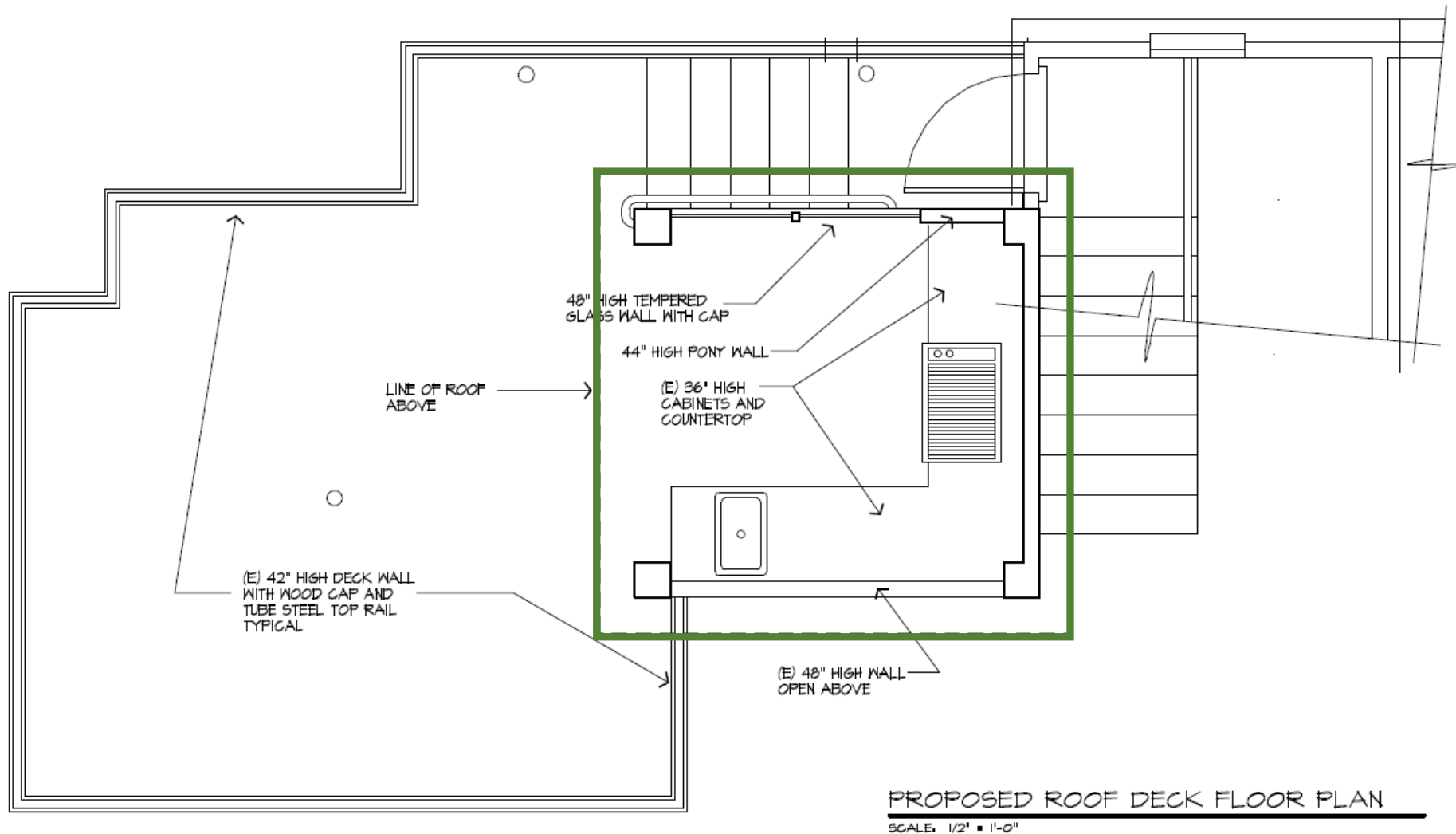


# Request

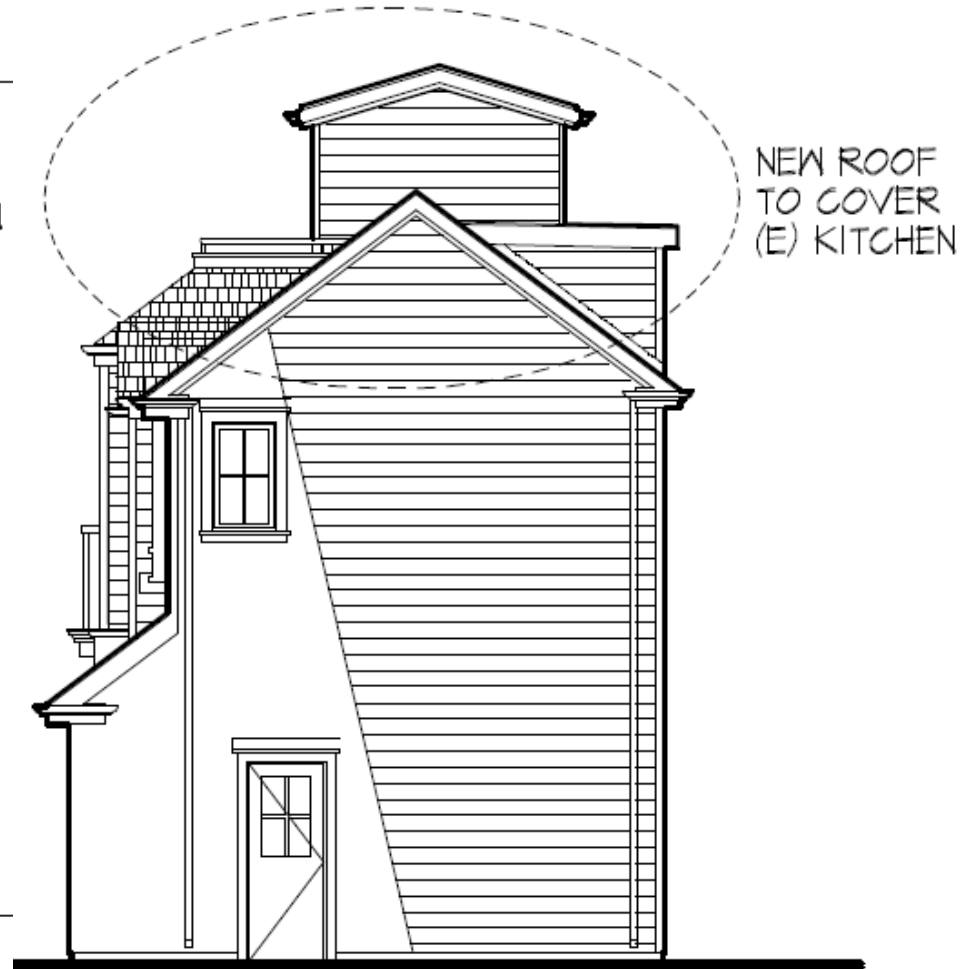
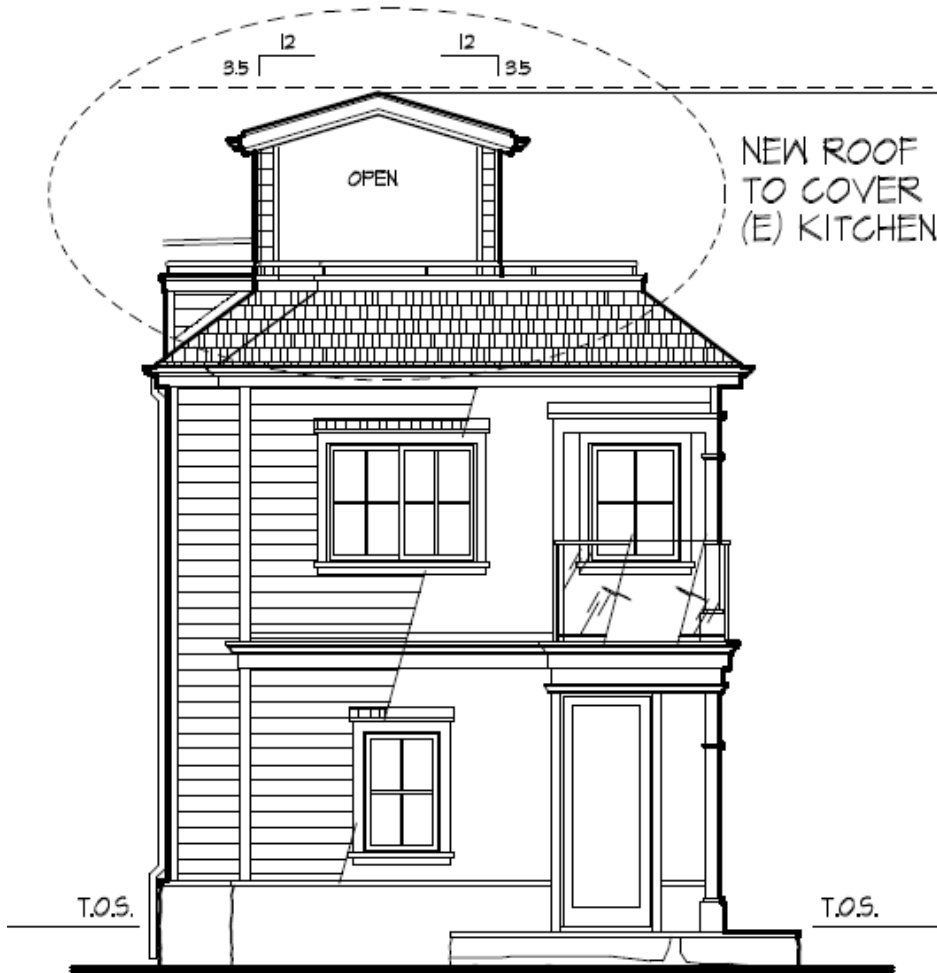
- **Construct an 84-square-foot cover over roof deck outdoor kitchen**
- **Variance from additional step back for third floor covered deck area**
- **No addition of floor area**



# Roof Deck Floor Plan

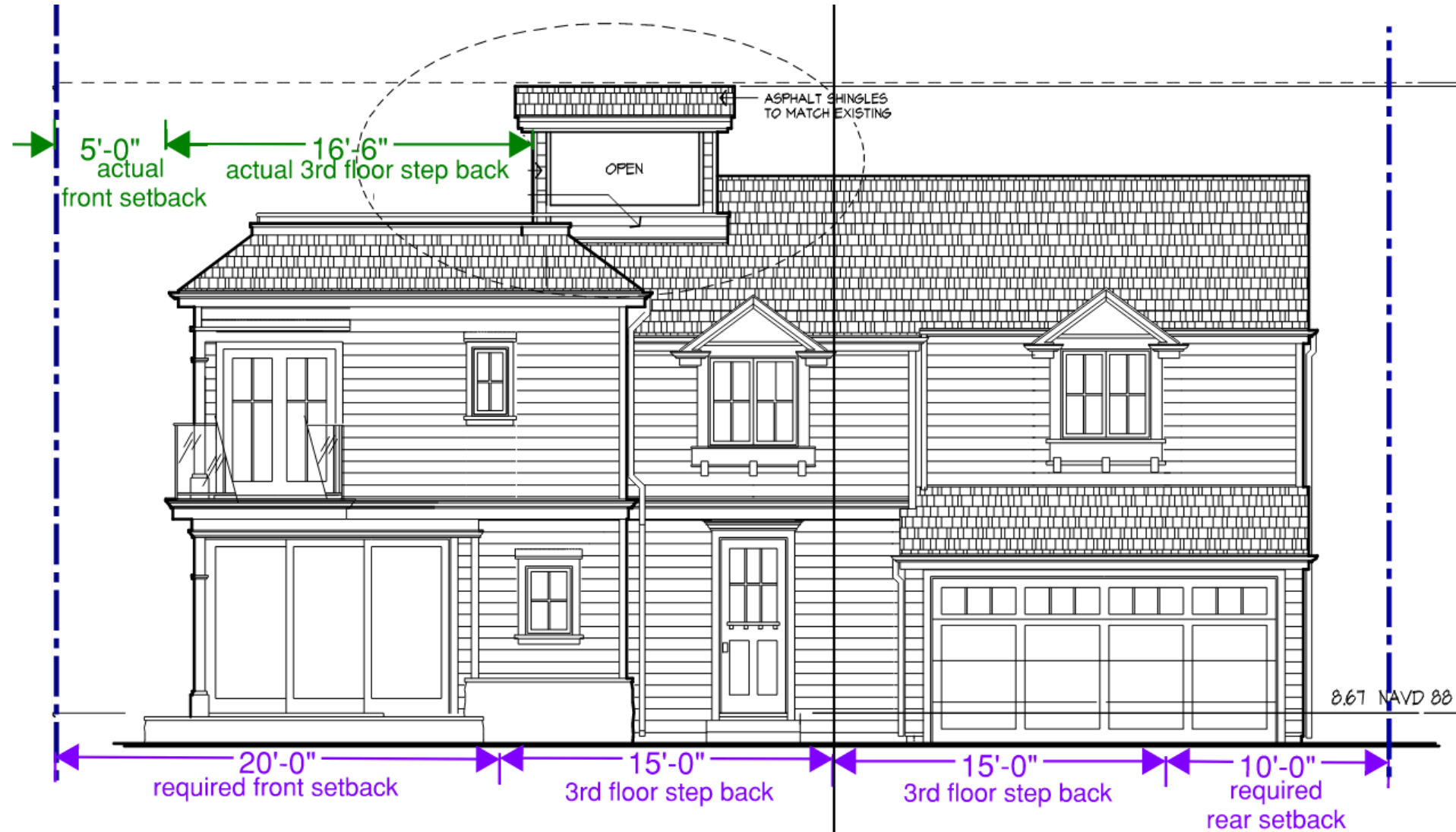


# Roof Over Outdoor Kitchen





# Third Floor Step Back



# **CEQA Review**

**Exempt from CEQA pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines ,because it has no potential to have a significant effect on the environment**



# Recommended Action

- **Conduct a public hearing;**
- **Find the project exempt from CEQA pursuant to Section 15301 under Class 1 (Existing Facilities);**
- **Adopt resolution approving Variance No. VA2022-001**





# Questions and Discussion

## Planning Commission Public Hearing

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June 9, 2022

Chelsea Crager, Associate Planner  
[ccrager@newportbeachca.gov](mailto:ccrager@newportbeachca.gov), 949-644-3227

